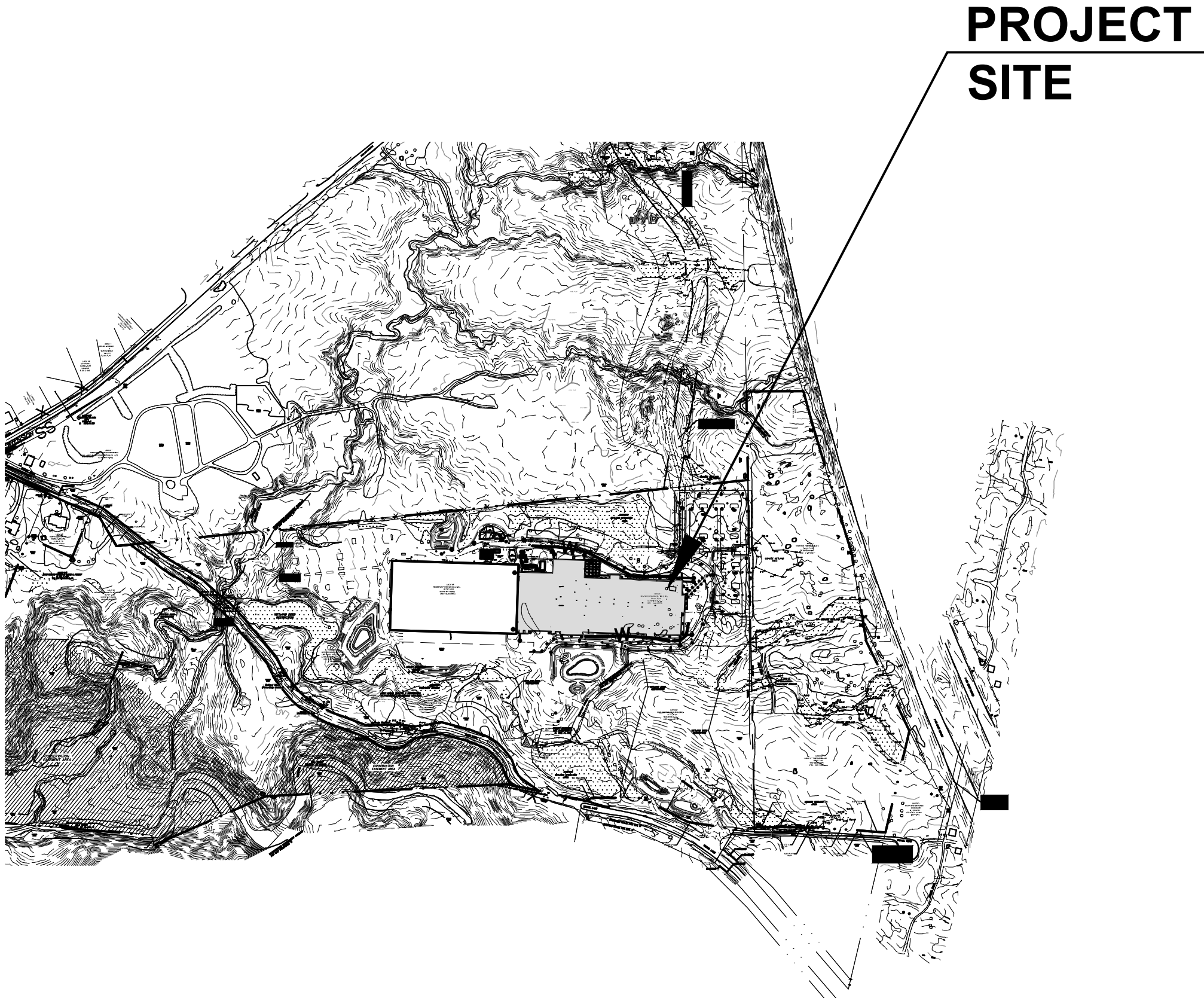


# REGENERON PHARMACEUTICALS, INC

# TEMPEL LANE CAMPUS, BUILDING 17

EAST GREENBUSH, NEW YORK

## DESIGN SET



PROJECT  
SITE



PROJECT  
SITE

SITE LOCATION MAP

SCALE: 1"=500'

## ZONING DATA

	EXISTING	NEW BUILDING B17	PROPOSED BUILDING B27	REQUIRED
ZONING DSISTRICT: CORPORATE OFFICE / REGIONAL COMMERCIAL				
LOT AREA (Acres) (SEE NOTE #1)	57	130.71	130.71	5
LOT WIDTH (FT)	2,617			400
MINIMUM YARD DIMENSION				
FRONT (FT)	427			25
SIDE (FT)	566			12
REAR (FT)	189			25
MAXIMUM BUILDING COVERAGE (%)	3.90%	4.93%	7.01%	35%
WAREHOUSE (TWO STORY) (SF)	96,800			
MANUFACTURING (TWO STORY) (B17) (SF)		184,000		
LAB /OFFICE BUIDLING/CAFETERIA (FOUR STORY)			60,868	
PARKING GARAGE (FIVE STORY)			57,181	
MAXIMUM BUILDING HEIGHT (FT)	50	50	69	50 (variance)
MINIMUM NUMBER OF OFF-STREET PARKING SPACES		1517		1405 TO 1635
WAREHOUSE (150 EMPLOYEES)	262			225 TO 255 (1.5 to 1.7 PER EMPLOYEE AT MAXIMUM SHIFT)
MANUFACTURING B17 (200 EMPLOYEES)		230		220 TO 280 (1.2 to 1.4 PER EMPLOYEE AT MAXIMUM SHIFT)
LAB /OFFICE CAFETERIA BUIDLING B27 (1,00 EMPLOYEES)				960 (ONE PARKING SPACE PER 250SF) (240,000 gsf) 1,100 EMPLOYEES
PARKING GARAGE			1025	930 PARKING GARAGE AND 95 SURFACE
NOTES	1) ASSUMING LOT CONSOLIDATION 2) PARKING STRUCTURE CONTAINS 930 PARKING SPACES 3) PARKING SPACES ARE 9'-4" WIDE BY 18' IN DEPTH			

## DRAWING INDEX - EARLY GRADING PERMIT PACKAGE

Document Number	Titles
17-G-0000-D-1	COVER SHEET
17-G-0000-D-2	GENERAL NOTES
17-G-1001-D-1	EXISTING FEATURES SHEET 1
17-G-1001-D-2	EXISTING FEATURES SHEET 2
17-G-1301-D-3	SITE EARLY GRADING LAYOUT SHEET 1
17-G-1301-D-4	SITE EARLY GRADING LAYOUT SHEET 2
17-G-1301-D-11	SITE ROUGH GRADING OVERALL
17-G-1301-D-5	SITE ROUGH GRADING SHEET 1
17-G-1301-D-6	SITE ROUGH GRADING SHEET 2
17-G-1501-D-01	SITE STORMWATER DRAINAGE AREA PLAN
17-G-1201-D-1	SITE EROSION AND SEDIMENTATION CONTROL PLAN SHEET 1
17-G-1201-D-2	SITE EROSION AND SEDIMENTATION CONTROL PLAN SHEET 2
17-G-1305-D-1	SITE EARLY GRADING DETAILS
17-G-1305-D-2	SITE EROSION CONTROL DETAILS
17-G-1305-D-3	SITE EROSION CONTROL DETAILS
17-G-1305-D-4	SITE EROSION CONTROL DETAILS
17-G-1302-D-1	SITE EARLY GRADING PROFILES

## DRAWING INDEX - SITE PLAN

Document number	Titles
17-G-0000-D-10	COVER SHEET
17-G-0000-D-2	GENERAL NOTES
17-G-1301-D-30	SITE LAYOUT SHEET 1
17-G-1301-D-31	SITE LAYOUT SHEET 2
17-G-1301-D-40	SITE GEOMETRY PLAN SHEET 1
17-G-1301-D-41	SITE GEOMETRY PLAN SHEET 2
17-G-1301-D-10	SITE FINISHED GRADING SHEET 2
17-G-1301-D-9	SITE FINISHED GRADING SHEET 1
17-G-1501-D-10	SITE PRE STORMWATER DRAINAGE AREA PLAN
17-G-1501-D-11	SITE POST STORMWATER DRAINAGE AREA PLAN
17-G-1501-D-12	SITE STORM SEWER SHEET 1
17-G-1501-D-13	SITE STORM SEWER SHEET 2
17-G-1501-D-16	SITE WATER AND SANITARY LAYOUT SHEET 1
17-G-1501-D-17	SITE WATER AND SANITARY LAYOUT SHEET 2
17-G-1501-D-18	SITE ELECTRICAL DUCTBANK LAYOUT SHEET 1
17-G-1501-D-19	SITE ELECTRICAL DUCTBANK LAYOUT SHEET 2
17-G-1201-D-10	SITE EROSION AND SEDIMENTATION CONTROL PLAN SHEET 1
17-G-1201-D-11	SITE EROSION AND SEDIMENTATION CONTROL PLAN SHEET 2
17-G-1601-D-10	SITE BIORETENTION PLAN SHEET 1
17-G-1601-D-11	SITE BIORETENTION PLAN SHEET 2
17-G-1305-D-10	SITE DETAILS
17-G-1305-D-11	SITE DETAILS
17-G-1305-D-12	SITE SIGNAGE DETAILS
17-G-1305-D-13	SITE DETAILS
17-G-1305-D-2	SITE EROSION CONTROL DETAILS
17-G-1305-D-3	SITE EROSION CONTROL DETAILS
17-G-1305-D-4	SITE EROSION CONTROL DETAILS
17-G-1501-D-30	UTILITY DETAILS
17-G-1501-D-31	UTILITY DETAILS
17-G-1302-D-10	ROAD PROFILES
17-G-1302-D-11	STORMWATER PROFILES SHEET 1
17-G-1302-D-12	STORMWATER PROFILES SHEET 2
17-G-1302-D-13	STORMWATER PROFILES SHEET 3
17-G-1302-D-14	ELECTRICAL DUCTBANK AND TELECOMMUNICATION PROFILES SHEET 1
17-G-1302-D-15	WATER AND SEWER PROFILES SHEET 2
17-G-1401-D-1	LIGHTING PLAN
17-G-1401-D-2	LIGHTING PLAN
17-G-1401-D-3	LIGHTING PLAN
17-G-1601-D-1	LANDSCAPING PLAN
17-G-1601-D-2	LANDSCAPE DETAIL SHEET
17-G-1601-D-3	BIORETENTION PLANTING PLAN - 1
17-G-1601-D-4	BIORETENTION PLANTING PLAN - 2

SITE PLAN APPROVAL BY PLANNING BOARD  
TOWN OF EAST GREENBUSH, NEWYORK  
CONDITIONS OR MODIFICATIONS

DATED  
APPROVED BY CHAIRMAN

## COVER SHEET

Drawing No.

17-G-0000-D-10

Old Drawing No.

Revision: B

Sheet:

## APPLICANT:

REGENERON  
PHARMACEUTICALS, INC.  
81 COLUMBIA TURNPIKE  
RENSSELAER, NY 12144

## ENGINEER:

JACOBS  
THREE TOWER BRIDGE  
TWO ASH STREET. SUITE 3000  
CONSHOHOCKEN, PA. 19428

## ARCHITECT:

JACOBS  
THREE TOWER BRIDGE  
TWO ASH STREET. SUITE 3000  
CONSHOHOCKEN, PA. 19428

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## REGENERON

Regeneron Pharmaceuticals, Inc.  
81 Columbia Turnpike  
Rensselaer, NY 12144

Scale: AS NOTED

Bldg.:

File No.: 17-G-0000-D-10.DWG

Date:



LEGEND

GENERAL NOTES

1. EXISTING CONDITIONS AND TOPOGRAPHIC DATA IS PROVIDED FROM A NUMBER OF SOURCES INCLUDING: TOPOGRAPHIC SURVEY PREPARED BY MASTER CONSULTING P.A. AND DATED 9.15.2016; PHASE ONE AS BUILT RECORDS; INFORMATION PROVIDED BY REGENERON. NO GUARANTEE IS IMPLIED THAT THE INFORMATION SHOWN IS COMPLETE OR ACCURATE.
3. FEMA SPECIAL FLOOD HAZARD ZONE GRAPHICALLY PLOTTED FROM COMMUNITY-PANEL NO. 3611330004A BEARING AN EFFECTIVE DATE OF MARCH 18, 1980.
4. UNDERGROUND UTILITIES WERE COMPILED FROM ON SITE SURVEY AND AVAILABLE UTILITY DRAWINGS PROVIDED BY REGENERON AND ARE APPROXIMATE ONLY. NO GUARANTEE IS IMPLIED THAT THE UTILITIES SHOWN ARE IN THE LOCATIONS INDICATED OR THAT THE INFORMATION SHOWN IS COMPLETE OR ACCURATE. BEFORE CONSTRUCTION CALL "DIG SAFE" AT 1-888-DIG-SAFE. CONTRACTOR TO LOCATE THE EXISTING UNDERGROUND UTILITIES WITH GROUND PENETRATING RADAR SURVEYS PRIOR TO EXCAVATION. THE CONTRACTORS IS RESPONSIBILITY TO CONFIRM THE LOCATIONS AND DEPTH OF EXISTING UTILITIES AND TO COORDINATE ALL WORK WITH THE OWNERS REPRESENTATIVE.
5. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HERON ARE APPROXIMATE AND ARE BASED ON A COMBINATION OF FIELD LOCATIONS AND COMPILED INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-DIG-SAFE.
6. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES THAT IS ADJACENT TO WORK. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY DAMAGE TO EXISTING UTILITIES OR UTILITY STRUCTURES CAUSED BY THE CONTRACTOR.
7. CONTRACTOR IS TO REFERENCE DEWATERING AND EROSION AND SEDIMENTATION CONTROL NOTES INCLUDED IN THE SWPPP
8. ANY WORKT OUTSIDE THE LIMITS OF DISTURBANCE WILL REQUIRE APPROVAL BY NYSOPRHP PRIOR TO COMMENCING WORK BEYONE LIMITS INDICATED.
9. ALL PROPOSED WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND MEET OR EXCEED TOWN OF GREENBUSH STANDARDS
10. CONTRACTOR SHALL SCHEDULE A MEETING WITH SUBCONTRACTORS, DESIGN ENGINEER & OWNER'S SAFETY REPRESENTATIVE TO REVIEW ROLES / RESPONSIBILITIES; EXPECTED SUBMITTALS; ANY PERMITS THAT MAY NEED TO BE OBTAINED; AND OUTLINE THE COORDINATION WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
11. CONTRACTOR SHALL COMPLY WITH ALL OF THE CONDITIONS IDENTIFIED IN APPLICABLE PERMITS AND SPECIFICALLY THOSE IDENTIFIED IN THE CONDITIONS OF APPROVAL GRANTED BY EAST GREENBUSH, CONSERVATION COMMISSION, PLANNING BOARD AND/OR OWNERS REPRESENTATIVE.
12. ALL CONSTRUCTION STONE SURFACE AREAS ARE TEMPORARY, AND SHALL BE RESTORED TO GRASS SURFACE CONDITIONS WITHIN 6 MONTH OF PROJECT COMPLETION.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TOPSOIL, TREES AND ROOT SYSTEMS. DESIGNATED BE DEMOLISHED.
2. THE CONTRACTOR SHALL CALL DIG-SAFE 72 HOURS PRIOR TO THE BEGINNING OF WORK.
3. SELECTIVE UTILITIES/STRUCTURES WITHIN LIMIT OF WORK SHALL BE REMOVED AS NOTED. THE CONTRACTOR WILL VERIFY THAT ANY UTILITY TO BE REMOVED IS NOT IN ACTIVE SERVICE.
4. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL SAFETY MEASURES TO INSURE THE PROTECTION OF THE PUBLIC FROM HARM, AS DEEMED NECESSARY BY THE TOWN, OWNER AND ENGINEER. THIS INCLUDES MAINTAINING SECURITY OF SITE FENCE AND GATE(S) DURING WORK AND NON-WORK HOURS.
6. DAMAGE OF PROPERTY BEYOND THE WORK LIMITS CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE SUBJECT TO APPROVAL BY THE OWNER.
7. ANY ITEM TO BE REUSED ON SITE WILL BE STOCKPILED IN AREAS APPROVED BY THE OWNER AND/OR CONSTRUCTION MANAGER. ALL STOCKPILES WILL BE PROTECTED WITH SEDIMENT AND EROSION CONTROL MEASURES.
8. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS, ELECTRONIC FORMAT (CURRENT AUTOCAD DRAWING) OF THE COMPLETED CONTRACT IN ACCORDANCE WITH THE BID DOCUMENTS.
9. PROTECT OR REMOVE/REPLANT ALL EXISTING LANDSCAPING MATERIALS NOT DESIGNATED FOR DEMOLITION DISTURBED DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EMERGENCY ACCESS PLAN FOR EXISTING BUILDINGS TO REMAIN DURING DEMOLITION/CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRASH RECEPTACLES AND SERVICES AS NECESSARY TO KEEP THE SITE FREE FROM TRASH AND DEBRIS AT ALL TIMES.
15. THE CONTRACTOR SHALL INSURE THAT ALL TRAFFIC IS MAINTAINED THROUGHOUT CONSTRUCTION AND THAT FLAGGERS AND POLICE DETAILS ARE EMPLOYED AS NECESSARY TO KEEP TRAFFIC AT A MINIMUM IN PUBLIC STREETS.
16. THE CONTRACTOR SHALL INSTALL ALL TEMPORARY SEDIMENT AND EROSION CONTROL INFRASTRUCTURE AS IDENTIFIED IN THE PROJECT SWPPP PLANS IN ACCORDANCE WITH THE EXISTING PERMIT.
17. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEMOLISHED MATERIALS, IF NOT REUSED, OFF THE SITE IN A LEGAL MANNER.
18. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF AN EXISTING UTILITY IS ENCOUNTERED THAT IS NOT SHOWN ON THE PLANS.
19. CONTRACTOR IS RESPONSIBLE FOR REMOVING CONSTRUCTION TRAILER PRIOR TO COMPLETION OF WORK

EXISTING LEGEND

STONE WALL

NOW OR FORMERLY OF

DRAIN MANHOLE

CATCH BASIN AND DRAINAGE PIPE

FIRE HYDRANT

WATER MAIN & GATE VALVE

EXISTING ELEVATION CONTOUR

SEWER MANHOLE & SEWER MAIN

GAS MAIN

UNDERGROUND ELECTRIC LINE

UNDERGROUND TELECOM LINE

UTILITY POLE

EXISTING GUARD RAIL

EXISTING EDGE OF PAVEMENT

SLOPED GRANITE CURB

BIT. CONC. CAPE COD BERM

VERTICAL CONCRETE CURB

EXISTING TREE/BRUSH LINE

RIP RAP

SIGN

LIGHT POST

CONCRETE PAD

AREA WITH SLOPE GREATER THAN 15%

PROPOSED LEGEND

NEW BUILDING OR STRUCTURE

UTILITY TIE-IN POINT

NEW WALKWAY/EXIT PAD

NEW U/G PIPE (SEE BELOW FOR TYPE)

FOUNDATION DRAINAGE PIPE (NON-SLOPED)

(TEMPORARY)  
NEW STORM MANHOLE

(TEMPORARY)  
NEW STORMWATER INLET

NEW CLEAN OUT

FLARED END SECTION

FLOW LINE

PROPOSED FINISH GRADE CONTOUR, FT.

PROPOSED ROUGH GRADE CONTOUR, FT.

PROPOSED SPOT ELEVATION, FT.

NEW GRADE / DIRECTION

SILT FENCE

NEW SIGN

NEW VALVE

NEW POST INDICATOR VALVE

NEW FIRE HYDRANT

NEW LIGHT POLE

NEW FIRE PROTECTION PIPE

NEW POTABLE WATER PIPE

NEW GAS PIPE

NEW SANITARY SEWER PIPE

NEW STORM SEWER PIPE

NEW CONCRETE CURB

NEW CONCRETE DEPRESSED CURB

EXISTING UTILITIES TO BE DEMOLISHED/  
RELOCATED

REMOVE EXISTING ASPHALT

REMOVE EXISTING CONCRETE  
WALKWAY/STAIR/PADS

ABBREVIATIONS

RCP	REINFORCED CONCRETE PIPE	EMH	ELECTRICAL MANHOLE
PVC	POLYVINYL CHLORIDE PIPE	U.N.O.	UNLESS NOTED OTHERWISE
DIP	DUCTILE IRON PIPE (CEMENT LINED)	CB	CATCH BASIN
CISP	CAST IRON SOIL PIPE	FRP	FIBERGLASS REINFORCED PLASTIC PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE	V.I.F.	VERIFY IN FIELD
R.O.W.	RIGHT OF WAY	A.C.	ASPHALT CONCRETE
POTW	POTABLE/CITY WATER	F.F.E.	FINISHED FLOOR ELEVATION
NG	NATURAL GAS	EL.	ELEVATION
H.P.	HIGH POINT	MH	MANHOLE
L.P.	LOW POINT	SMH	SANITARY MANHOLE
T.G./GR	TOP OF GRATE	SAN	SANITARY
FOC	FACE OF CURB	CONC.	CONCRETE
FOB	FACE OF BUILDING	SS	STORM DRAIN
I.E./INV./I	INVERT ELEVATION	FW	FIRE WATER
BOP	BOTTOM OF PIPE ELEVATION	FH	FIRE HYDRANT
POB	POINT OF BEGINNING	C.O.	CLEAN OUT
POE	POINT OF END	LW	LAB WASTE
PC	POINT OF CURVATURE	T.E.	TOP ELEVATION
PI	POINT OF INTERSECTION	BC	BOTTOM OF CURB ELEVATION
PT	POINT OF TANGENCY	TC	TOP OF CURB ELEVATION
RAD. PT.	RADIUS POINT	A/G	ABOVE GRADE
R	RADIUS	U/G	UNDER GROUND
C	COORD. LENGTH	CMP	CORRUGATED METAL PIPE
O	MID ORDINATE	TYP.	TYPICAL
L	CURVE LENGTH	RIM	RIM ELEVATION
T	TANGENT LENGTH	FD	FLOOR DRAIN
DELTA	DELTA	GR	GRATE ELEVATION
DC	DEGREE OF CURVATURE	LOD	LIMIT OF DISTURBANCE
FG	FINAL GRADE		
EG	EXISTING GRADE		
GW	FOUNDATION DRAIN		
CC	CONCRETE CURB		
BB	BITUMINOUS BERM		
T.O.C.	TOP OF CONCRETE		

Planning Board--Town of East Greenbush  
BY DIRECTION OF  
CHAIRMAN OF THE PLANNING  
BOARD THESE PLANS ARE APPROVED  
SEE FIRST SHEET FOR DATE & SIGNATURE

GENERAL NOTES

Drawing No.

17-G-0000-D-2

Old Drawing No.

Scale: AS NOTED

Bldg.:

File No.: 17-G-0000-D-2.DWG

Date: 6/6/2018

Revision: 1

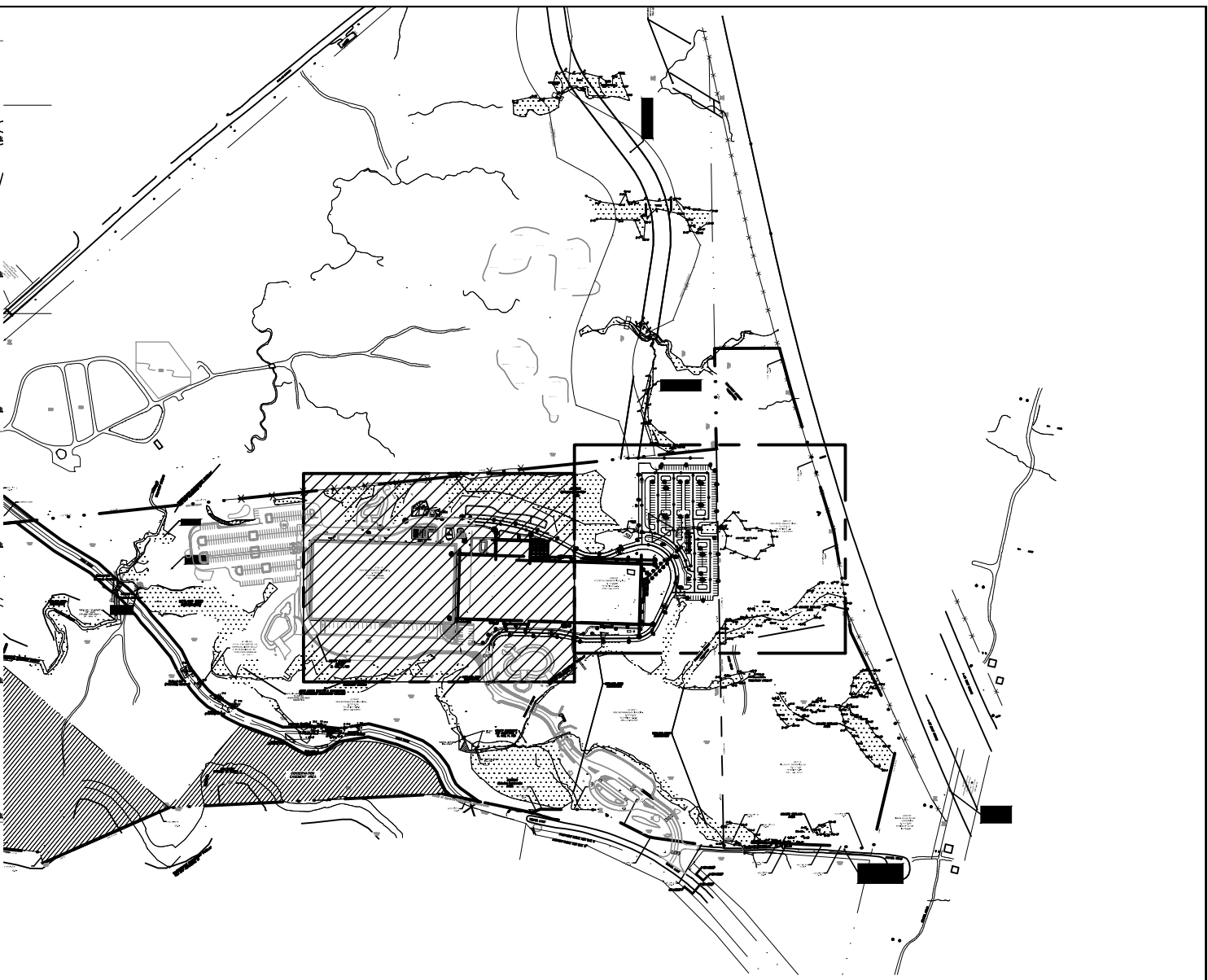
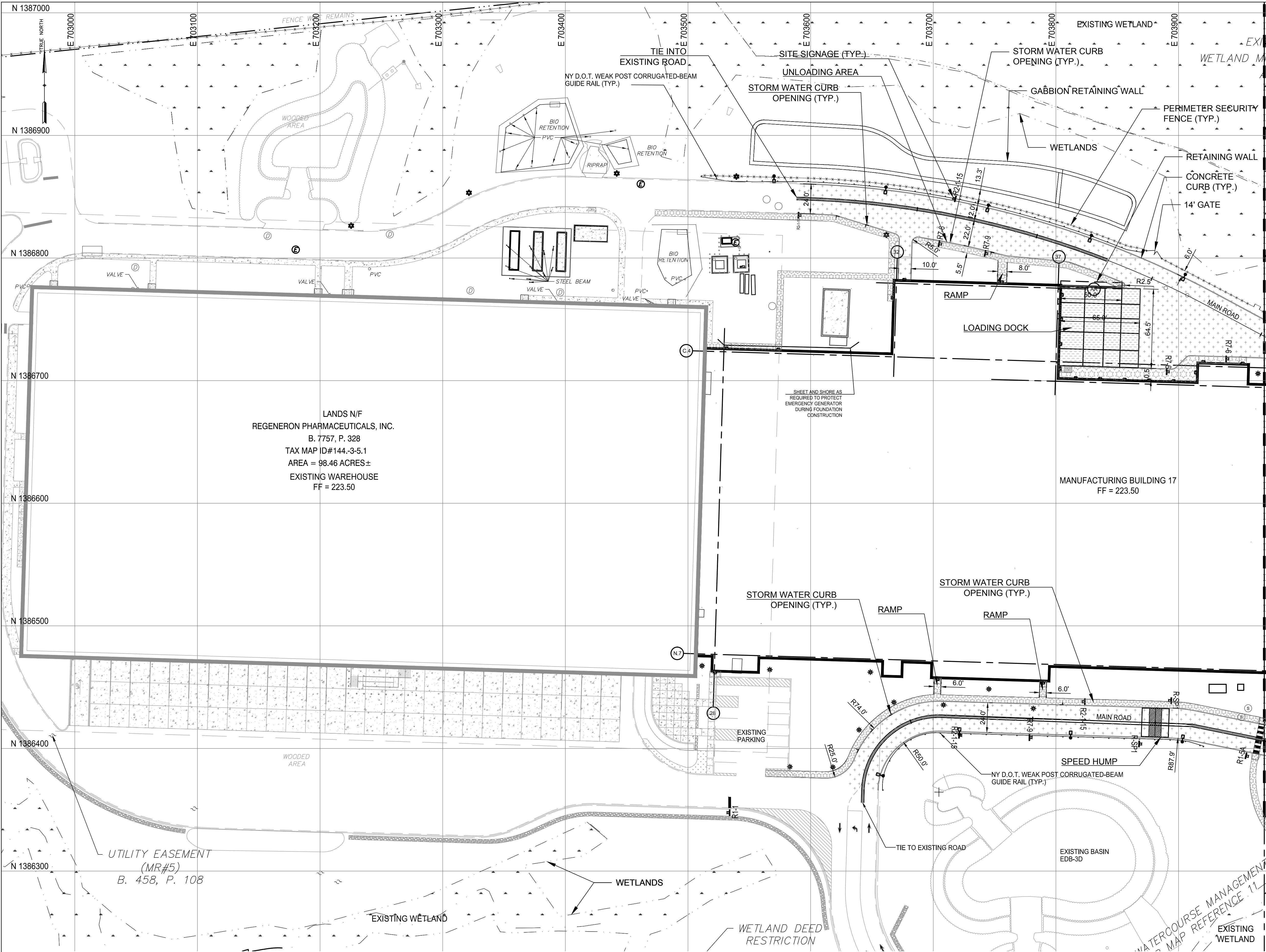
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REGENERON

Regeneron Pharmaceuticals, Inc.  
81 Columbia Turnpike  
Rensselaer, NY 12144



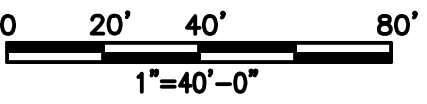
KEY PLAN  
SCALE: 1"=600'

NOTES:

1. FOR GENERAL NOTES AND LEGEND SEE DRAWING 17-G-0000-D-2.
2. SITE LAYOUT GEOMETRY REFERENCE DRAWING 17-G-1301-D-40 AND 17-G-1301-D-41.
3. REFERENCE DRAWING 17-G-1305-D-12 FOR SITE SIGNAGE AND PAVEMENT MARKINGS DETAILS AND NOTES.
4. REFERENCE DRAWING 17-G-1305-D-10 FOR SITE DETAIL.
5. FOR GUIDE RAIL DETAILS REFERENCE STATE OF NEW YORK D.O.T. WEEK POST CORRUGATED-BEAM GUIDE RAIL DRAWINGS, SHEETS 1, 2 AND 3 - 606-07
6. DIMENSION TO BUILDING IS TO FACE OF BUILDING U.N.O.
7. DIMENSIONS TO CURB IS TO FACE OF CURB
8. TYPICAL PARKING STALL DIMENSIONS IS 18'-0" IN DEPTH AND 9'-4" IN WIDTH
9. FOR ZONING INFORMATION REFERENCE DRAWING 17-G-000-D-10
10. REFERENCE DRAWINGS 17G-1501-D-12 AND 13 FOR STORM SEWER STRUCTURE LOCATION AND STORM SEWER PIPING
11. REFERENCE DRAWING 17-G-1302-D-10 FOR ROAD PROFILES
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14. INFORMATION CONCERNING SITE TOPOGRAPHY, EXISTING UTILITIES, PROPERTY LINE AND WETLANDS HAS BEEN PROVIDED BY REGENERON.
15. SITE PROPERTY LINE ASSUMES THAT LOTS OWNED BY REGENERON HAVE BEEN CONSOLIDATED INTO A SINGLE LOT.
16. REFERENCE DRAWING 17-G-000-D-2 FOR GENERAL NOTES
17. BASIS OF BEARINGS IS NEW YORK STATE PLANE COORDINATES SYSTEM EAST ZONE. HORIZONTAL DATUM IS NAD83
18. REFERENCE DRAWINGS 17-G-1401-D-1 AND D-2 FOR THE LATEST SITE LIGHTING INFORMATION

PAVING LEGEND

- PARKING LOT PAVING
- ROADWAY PAVING
- CONCRETE PAVING
- WALKWAYS



Planning Board-Town of East Greenbush  
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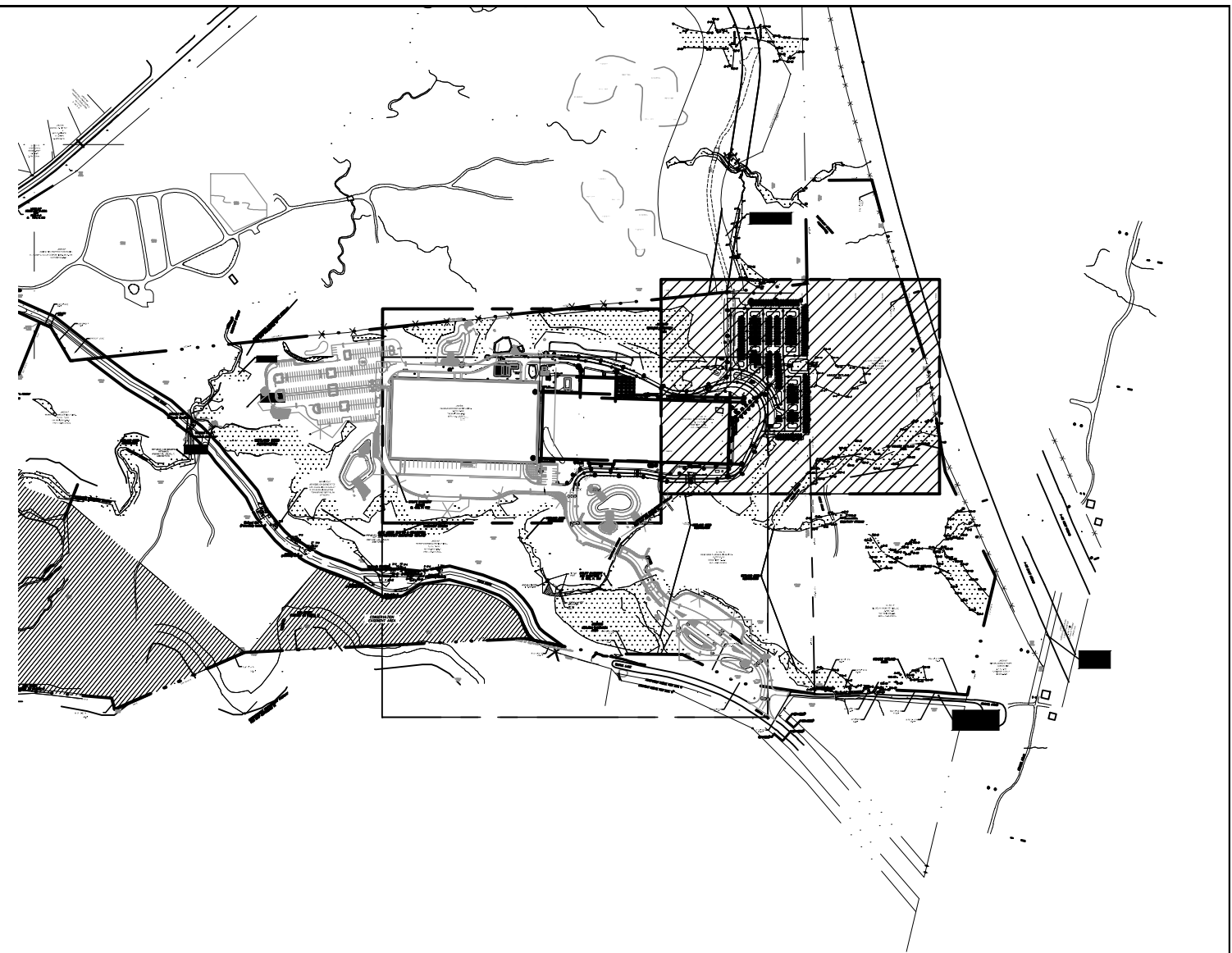
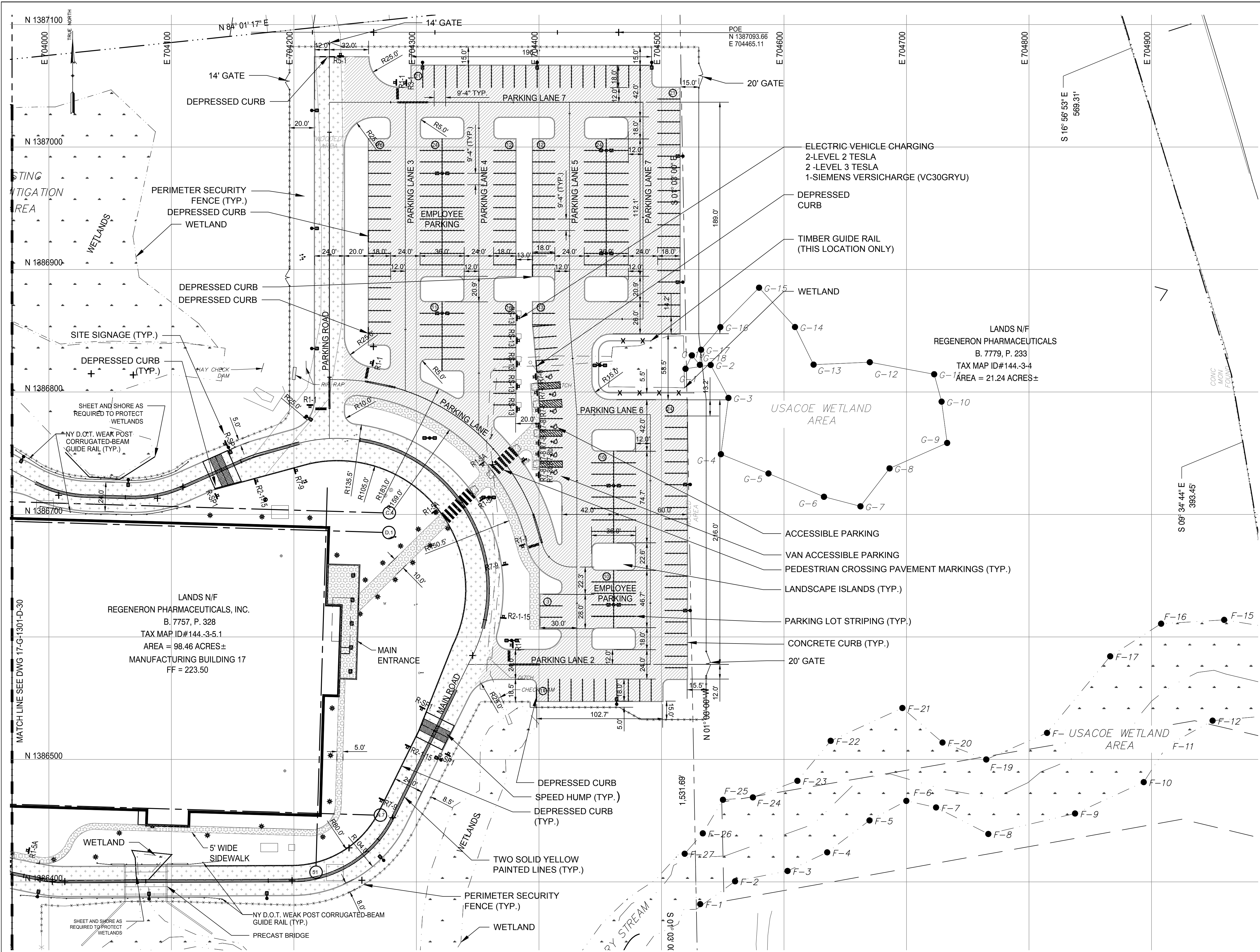
Rev #	Date:	Description	Drawn By:	Rev #	Date:	Description	Drawn By:
A	08 Oct 2018	Issued for Permit	JR				
B	25 Oct 2018	ISSUED FOR PERMIT					

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REGENERON		SITE LAYOUT SHEET 1		Drawing No.	
Regeneron Pharmaceuticals, Inc. 81 Columbia Turnpike Rensselaer, NY 12144				17-G-1301-D-30	
Scale: 1"=40'		Bldg.:		Old Drawing No.	
File No.: 17-G-1301-D-30.DWG		Date: 30/10/2018		Revision: B	Sheet:



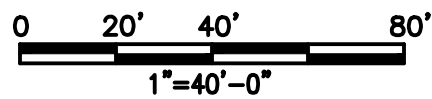


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**REGENERON**  
Regeneron Pharmaceuticals, Inc.  
81 Columbia Turnpike  
Rensselaer, NY 12144

Scale: 1"=40'

Bldg.:

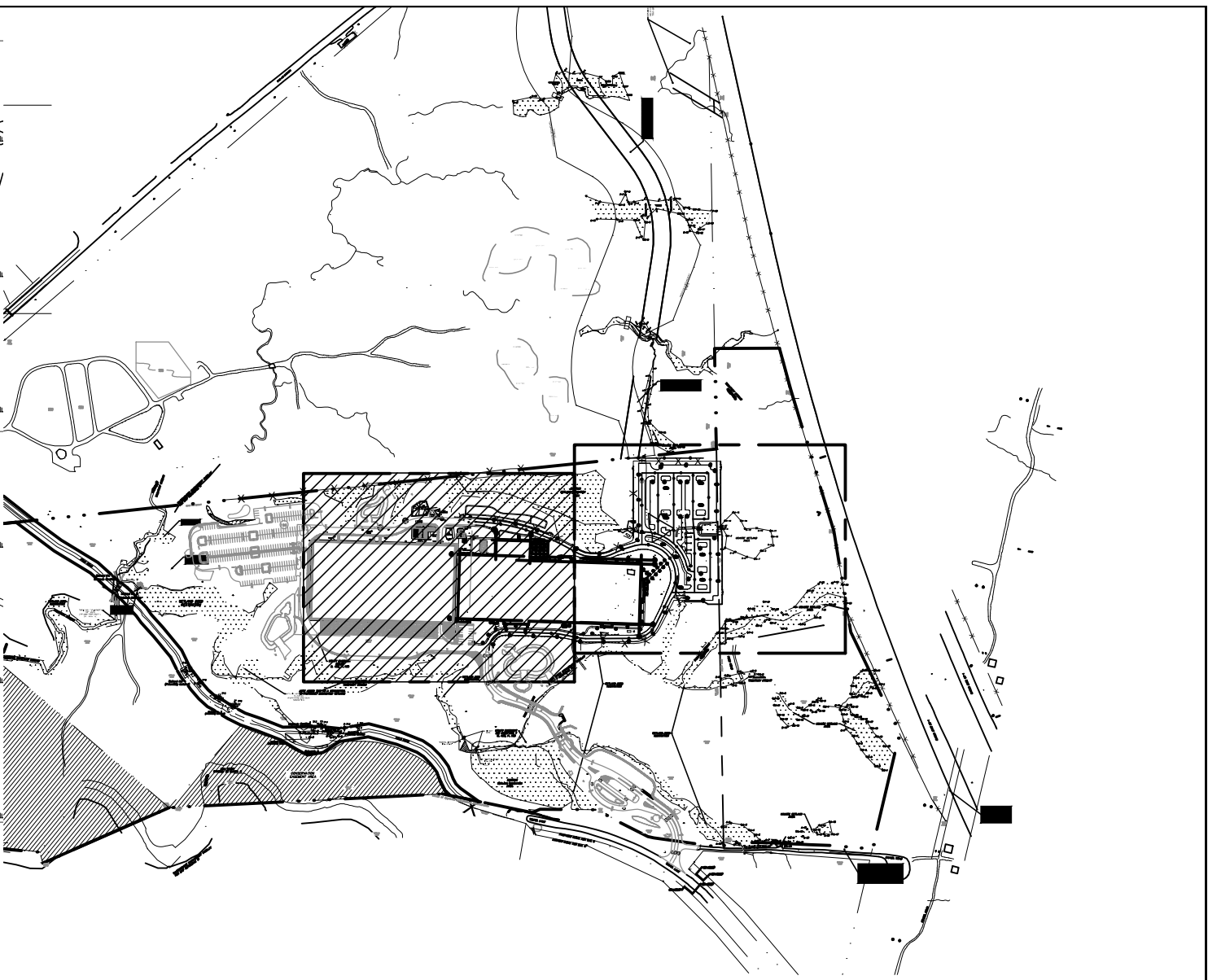
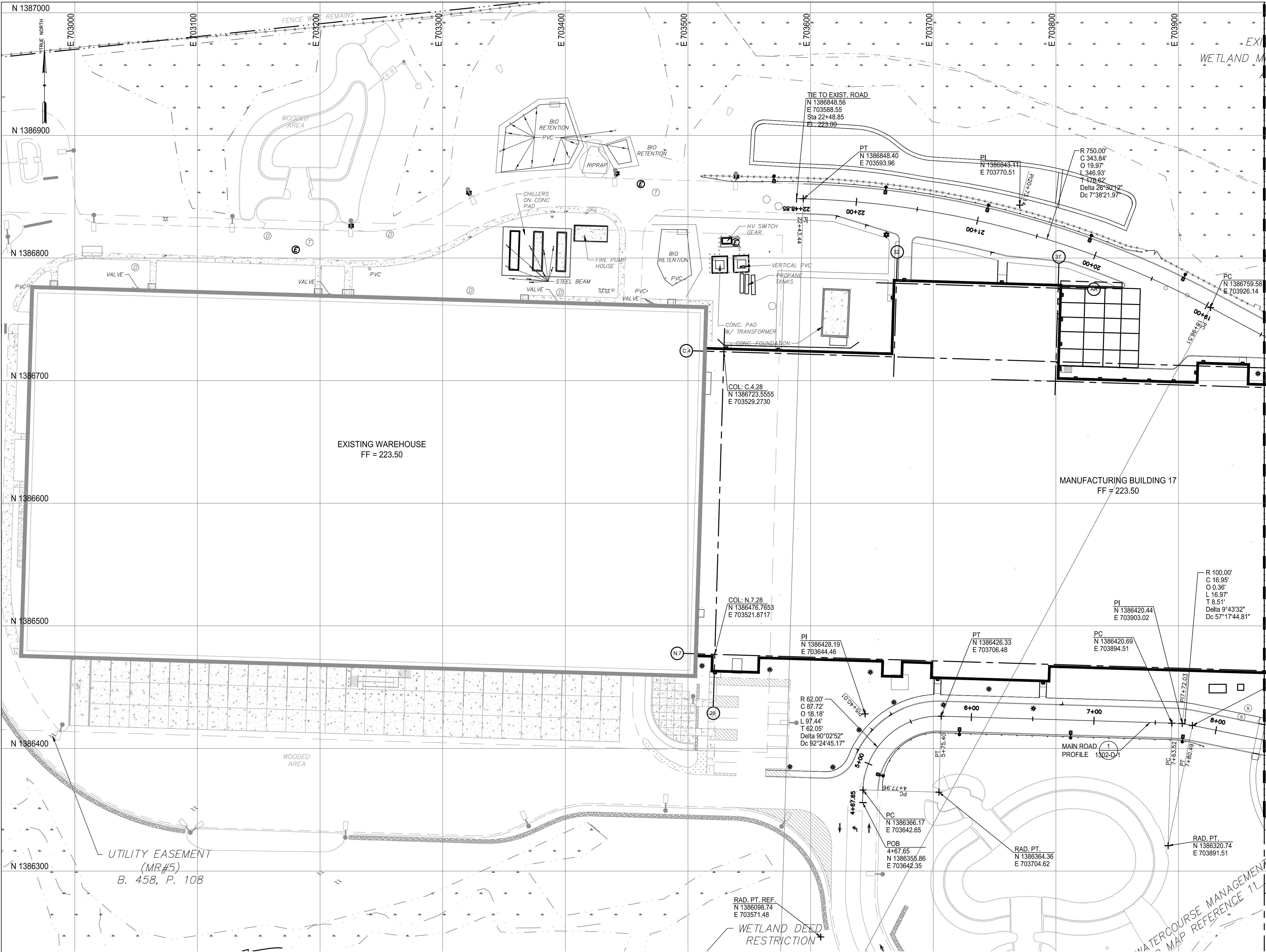
**SITE LAYOUT SHEET 2**

File No.: 17-G-1301-D-31.DWG

Date: 30/10/2018

Drawing No.	17-G-1301-D-31
Old Drawing No.	
Revision: B	Sheet:



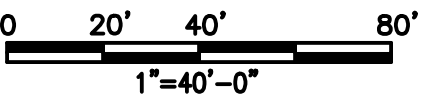


KEY PLAN  
SCALE: 1"=600'

NOTES:

- 1. FOR GENERAL NOTES AND LEGEND SEE DRAWING 17-G-0000-D-2.
- 2. SITE LAYOUT PLANS REFERENCE DRAWING 17-G-1301-D-30 AND 17-G-1301-D-31.
- 3. REFERENCE DRAWING 17-G-1305-D-12 FOR SITE SIGNAGE AND PAVEMENT MARKINGS DETAILS AND NOTES.
- 4. REFERENCE DRAWING 17-G-1305-D-10 FOR SITE DETAIL.
- 5. FOR GUIDE RAIL DETAILS REFERENCE STATE OF NEW YORK D.O.T. WEEK POST CORRUGATED BEAM GUIDE RAIL DRAWINGS, SHEETS 1, 2 AND 3 - 606-07.
- 6. DIMENSION TO BUILDING IS TO FACE OF BUILDING U.N.O.
- 7. DIMENSIONS TO CURB IS TO FACE OF CURB.
- 8. TYPICAL PARKING STALL DIMENSIONS IS 18'-0" IN DEPTH AND 9'-4" IN WIDTH.
- 9. FOR ZONING INFORMATION REFERENCE DRAWING 17-G-000-D-10.
- 10. REFERENCE DRAWINGS 17G-1501-D-12 AND 13 FOR STORM SEWER STRUCTURE LOCATION AND STORM SEWER PIPING.
- 11. REFERENCE DRAWING 17-G-1302-D-10 FOR ROAD PROFILES.
- 12. INFORMATION SHOWN FOR THE EXISTING WAREHOUSE BUILDING AND SURROUNDING SITE IMPROVEMENTS REFLECT AS-DESIGNED DOCUMENTS AND MAY NOT ACCURATELY REFLECT AS-BUILT INFORMATION. CONTRACTOR TO VERIFY ALL RELEVANT INFORMATION REGARDING THE WAREHOUSE AND SURROUNDING SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
- 13. DRAWINGS SHOW EARLY GRADING AS DESIGNED INFORMATION AS EXISTING. REFERENCE BUILDING 17 EARLY GRADING PERMIT PACKAGE FOR EARLY GRADING INFORMATION.
- 14. INFORMATION CONCERNING SITE TOPOGRAPHY, EXISTING UTILITIES, PROPERTY LINE AND WETLANDS HAS BEEN PROVIDED BY REGENERON.
- 15. SITE PROPERTY LINE ASSUMES THAT LOTS OWNED BY REGENERON HAVE BEEN CONSOLIDATED INTO A SINGLE LOT.
- 16. REFERENCE DRAWING 17-G-000-D-2 FOR GENERAL NOTES.
- 17. BASIS OF BEARINGS IS NEW YORK STATE PLANE COORDINATES SYSTEM EAST ZONE. HORIZONTAL DATUM IS NAD83.
- 18. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.

LANDS N/F  
REGENERON PHARMACEUTICALS, INC.  
B. 7757, P. 328  
TAX MAP ID#144.-3-5.1  
AREA = 98.46 ACRES±



Planning Board-Town of East Greenbush  
BY DIRECTION OF  
CHAIRMAN OF THE PLANNING  
BOARD THESE PLANS ARE APPROVED  
SEE FIRST SHEET FOR DATE & SIGNATURE

Rev #	Date:	Description	Drawn By:	Rev #	Date:	Description	Drawn By:
A	08 Oct 2018	Issued for Permit	JR				
B	25 Oct 2018	ISSUED FOR PERMIT					

CONFIDENTIAL

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FROM REGENERON PHARMACEUTICALS, INC.

REGENERON

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81 Columbia Turnpike  
Rensselaer, NY 12144

Scale: 1"=40'

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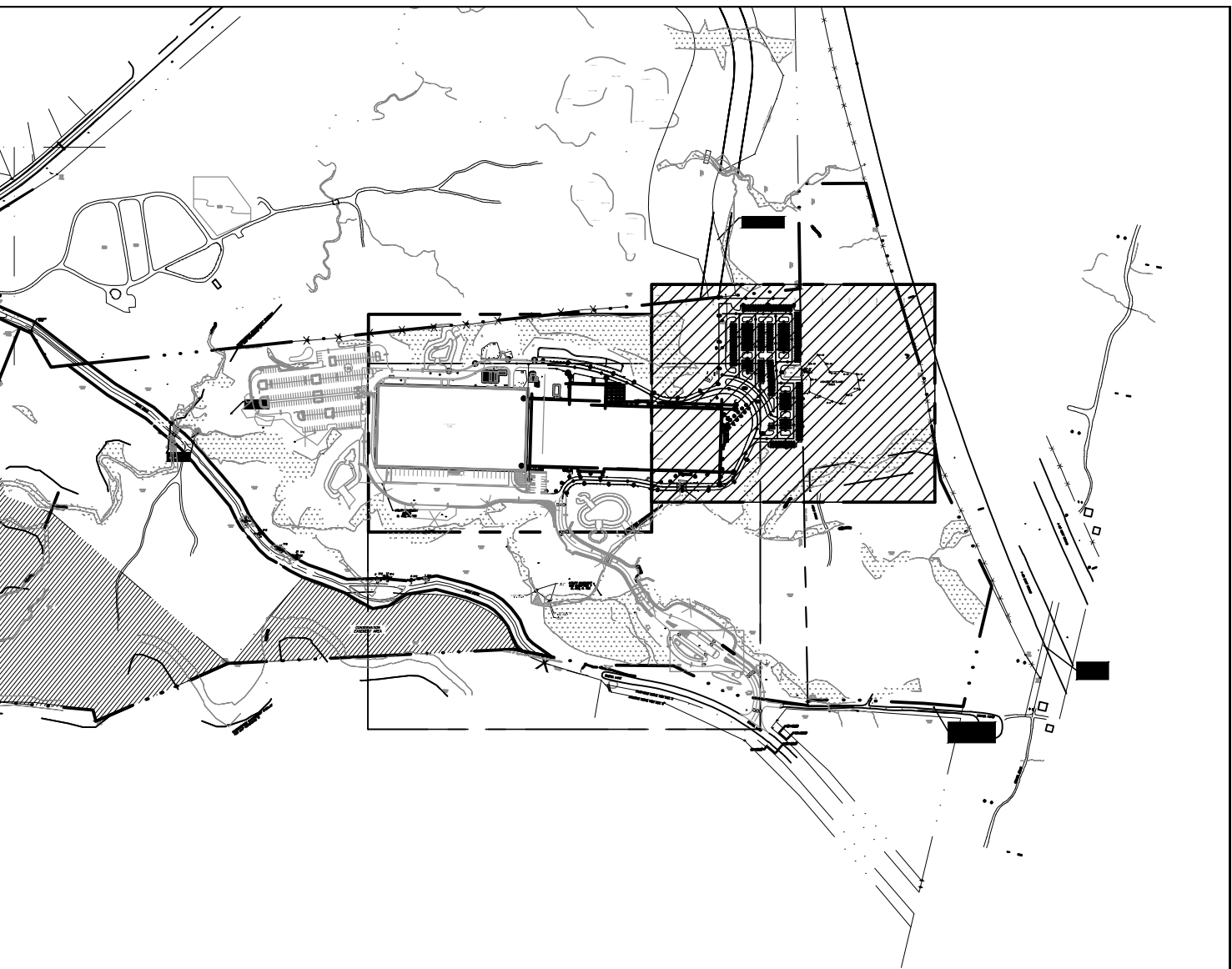
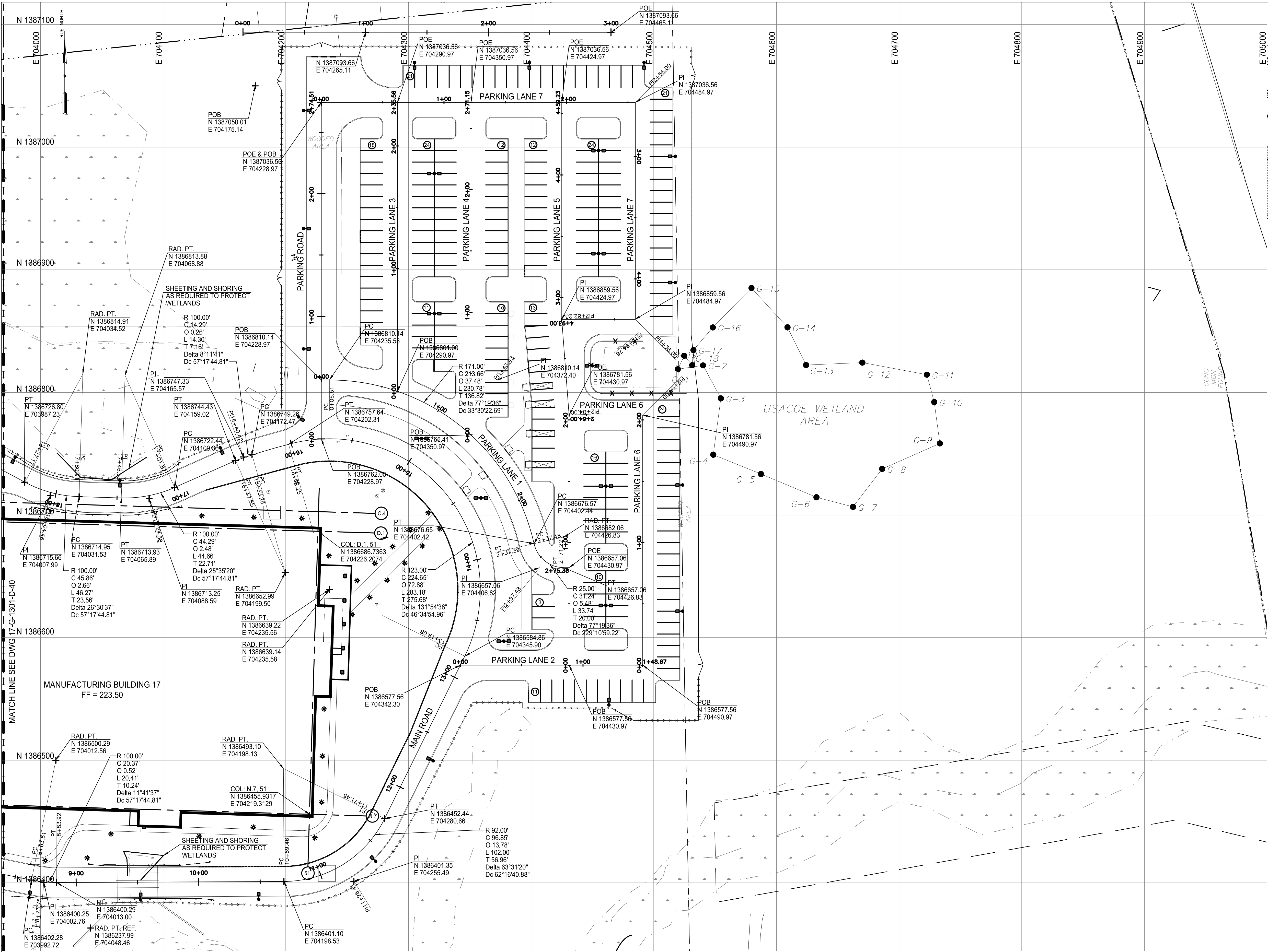
SITE GEOMETRY PLAN SHEET 1

File No.: 17-G-1301-D-40.DWG

Date: 30/10/2018

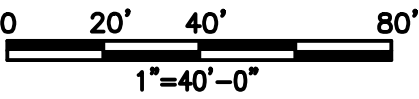
Drawing No.	17-G-1301-D-40
Old Drawing No.	
Revision: B	Sheet:





KEY PLAN  
SCALE: 1"=600'

- NOTES:
- FOR GENERAL NOTES AND LEGEND SEE DRAWING 17-G-0000-D-2.
  - SITE LAYOUT PLANS REFERENCE DRAWING 17-G-1301-D-30 AND 17-G-1301-D-31.
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  - REFERENCE DRAWING 17-G-1305-D-10 FOR SITE DETAIL.
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  - REFERENCE DRAWING 17-G-000-D-2 FOR GENERAL NOTES.
  - BASIS OF BEARINGS IS NEW YORK STATE PLANE COORDINATES SYSTEM EAST ZONE. HORIZONTAL DATUM IS NAD83.
  - REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.



Planning Board—Town of East Greenbush  
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CHAIRMAN OF THE PLANNING  
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A	08 Oct 2018	Issued for Permit	JR				
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**REGENERON**

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Rensselaer, NY 12144

Scale: 1"=40'

Bldg.:

**SITE GEOMETRY PLAN SHEET 2**

File No.: 17-G-1301-D-41.DWG

Date: 30/10/2018

Drawing No. <b>17-G-1301-D-41</b>	
Old Drawing No.	
Revision: <b>B</b>	Sheet: